



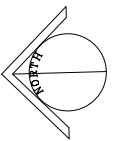
This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

SITE ANALYSIS



SITE CONDITION

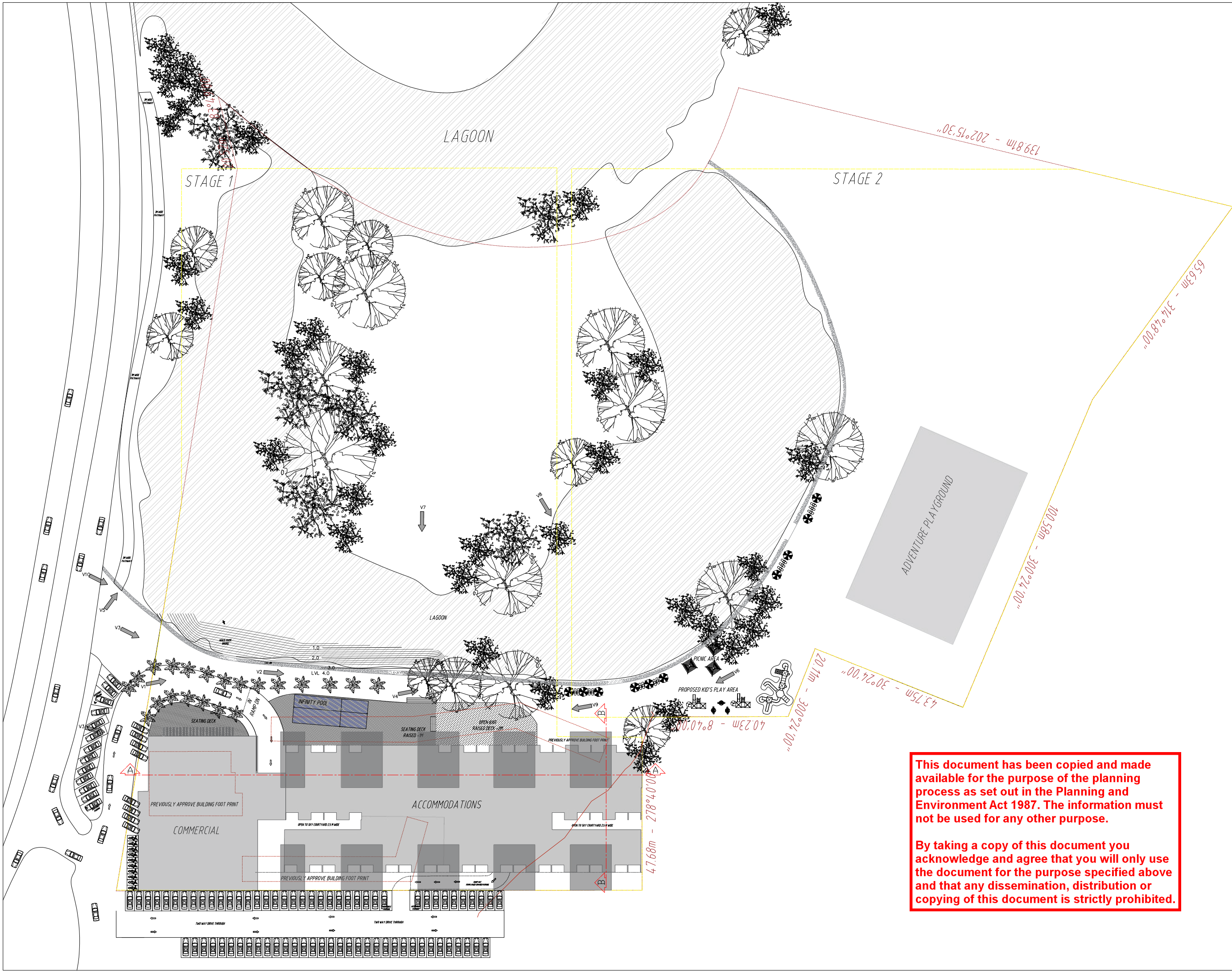


PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk.
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

DRAWN	SCALE	DATE
MH	METERS	10.11.2022

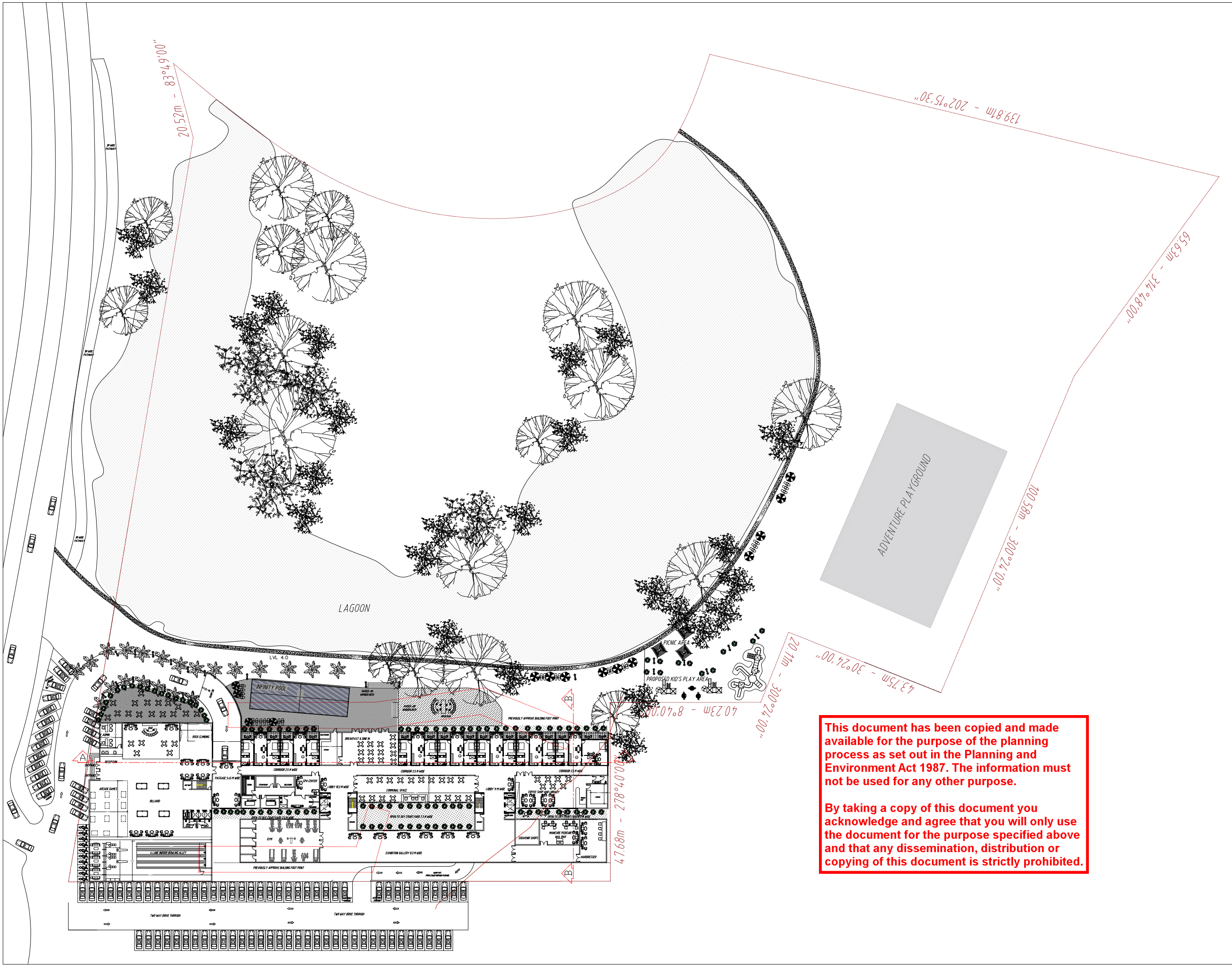
DRAWING TITLE :
PROPOSED MASTER PLAN DRAWING

DRAWING NO. TP. 01 REV.



This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



TOWN PLANNING

DEVELOPMENT AREA SUMMARY

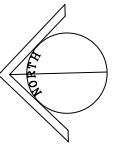
TOTAL SITE AREA:..... 42916.5 SQ.M
TOTAL BUILDING AREA:..... 96,305 SQ.M

BUILT AREA DETAILS
-LOWER GROUND BUILT AREA: 4,215.5 SQ.M
-GROUND FLOOR BUILT AREA: 4,734.3 SQ.M
-LEVEL 1 BUILT AREA: 22342 SQ.M
-LEVEL 2 BUILT AREA: 22544 SQ.M
-LEVEL 3 BUILT AREA: 21,234.2 SQ.M
-LEVEL 4 BUILT AREA: 21,234.2 SQ.M

RESORT UNIT AREA:
-TYPICAL RESORT UNIT AREA
80.15 SQ.M (EXCLUDING BALCONY)
94 SQ.M (INCLUDING BALCONY)

NUMBER OF RESORT UNITS..... 107 UNITS
-GROUND FLOOR: 07 UNITS
-LEVEL 1: 25 UNITS
-LEVEL 2: 25 UNITS
-LEVEL 3: 25 UNITS
-LEVEL 4: 25 UNITS

TOTAL CAR PARKING: 172 CARS & 21 BIKES
RESERVED FOR DISABLED TOTAL : 10
PUBLIC PARKING: 96
LOWER GROUND PARKING: 76



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

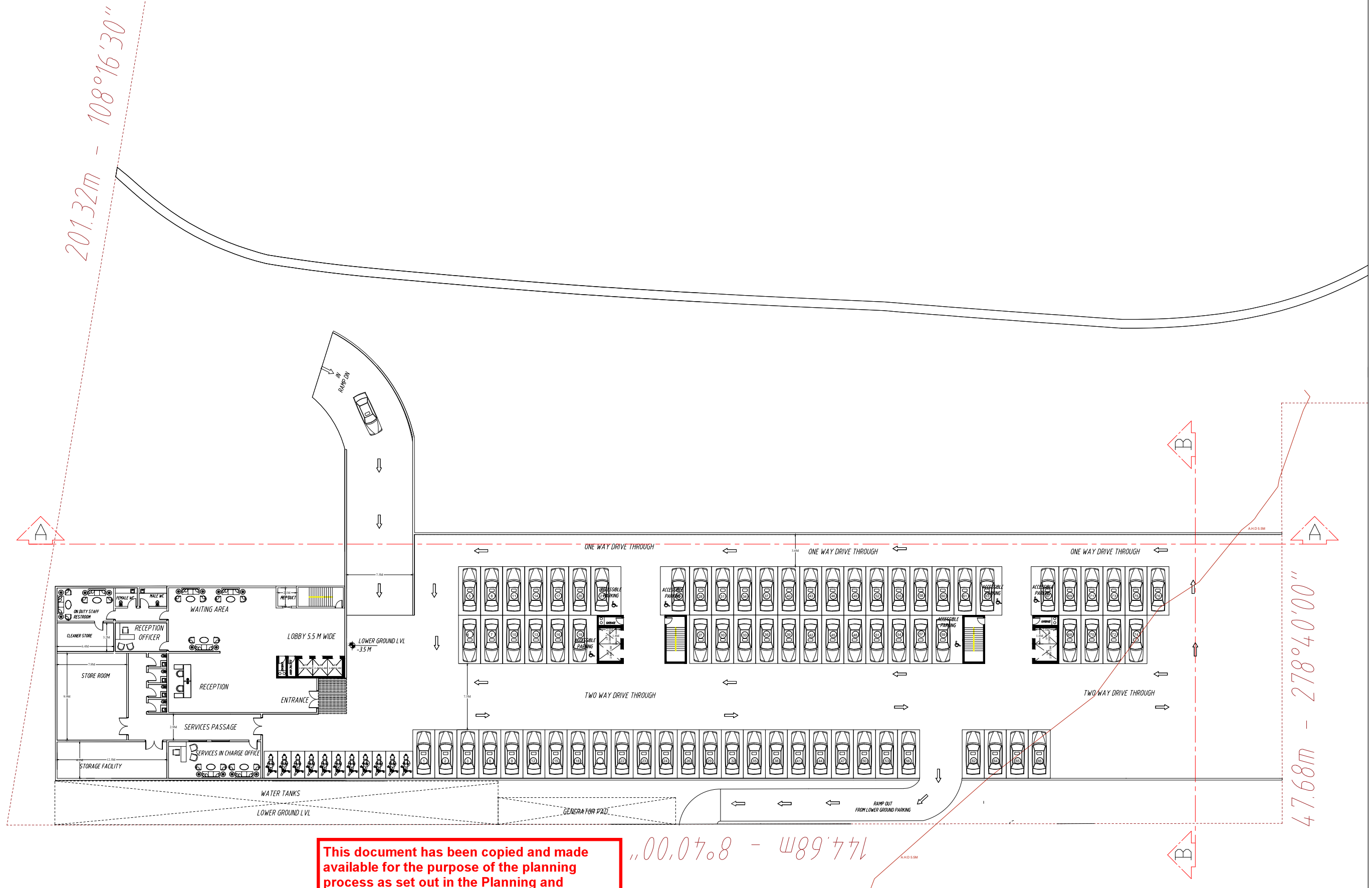
DRAWN	SCALE	DATE
MH	METERS	

DRAWING TITLE :
PROPOSED GROUND FLOOR DRAWING
WITH RESPECT TO THE SITE PLAN

DRAWING NO. TP. 02 REV.

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

LOWER GROUND LEVEL SUMMARY

FLOOR AREA: 4215.5 SQ.M

CAR PARKING:..... 76
RESERVED PARKING FOR DISABLES: 6
BIKES AND BICYCLES PARKING:.....11

BUILDING TYPOLOGY :
-CAR PARKING
-RECEPTION FOR CHECK IN GUESTS
-STORAGE FACILITY

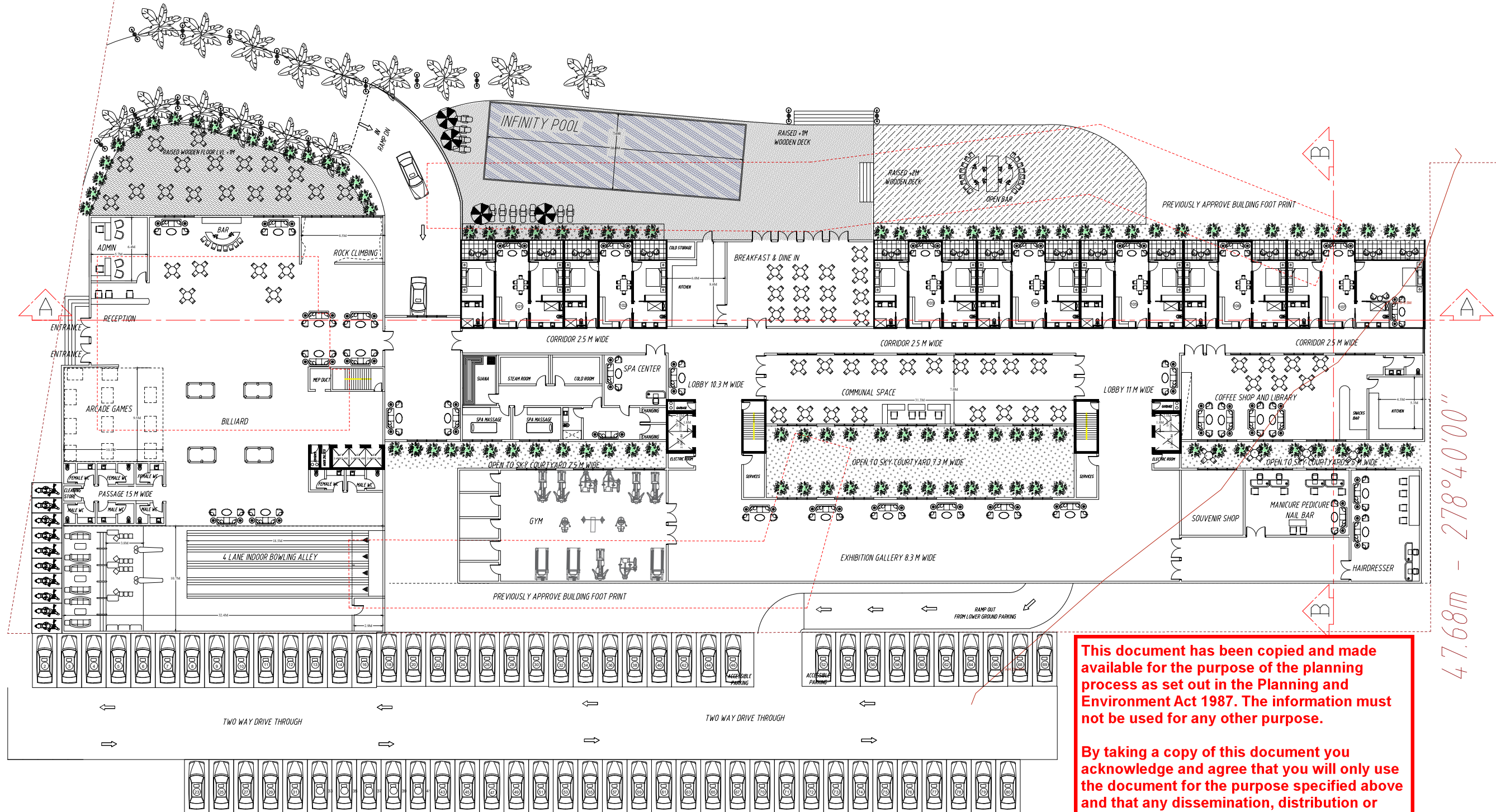


PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes Hwy Warrak
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

DRAWN	SCALE 1:200@A3	DATE
MH	METERS	

DRAWING TITLE :
LOWER GROUND PLAN DRAWING

DRAWING NO. TP .03	REV.
--------------------	------



GROUND FLOOR LEVEL SUMMARY

BUILDING TYPOLOGY
-COMMERCIAL
-RESORT ACCOMMODATION

TOTAL GROUND FLOOR AREA: 4734.33 SQ.M

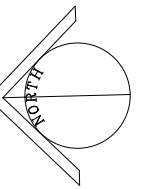
COMMERCIAL AREA: 1355.49 SQ.M

COMMERCIAL UNIT AREA BREAK DOWN
-ROCK CLIMBING AREA: 40.37 SQ.M
-BOWLING ALLEY AREA: 390 SQ.M
-ARCADE AREA + BILLIARD AREA: 95.2 SQ.M
-BAR AREA: 147.5 SQ.M

RESORT AREA: 3378.84 SQ.M

TOTAL NUMBER OF UNITS: 7
-2 BED UNIT: 7

TOTAL CAR PARKING ON GROUND: 96
TOTAL PARKED BIKES: 21
CAR PARKING RESORT: 76
COMMERCIAL PARKING GROUND: 21



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

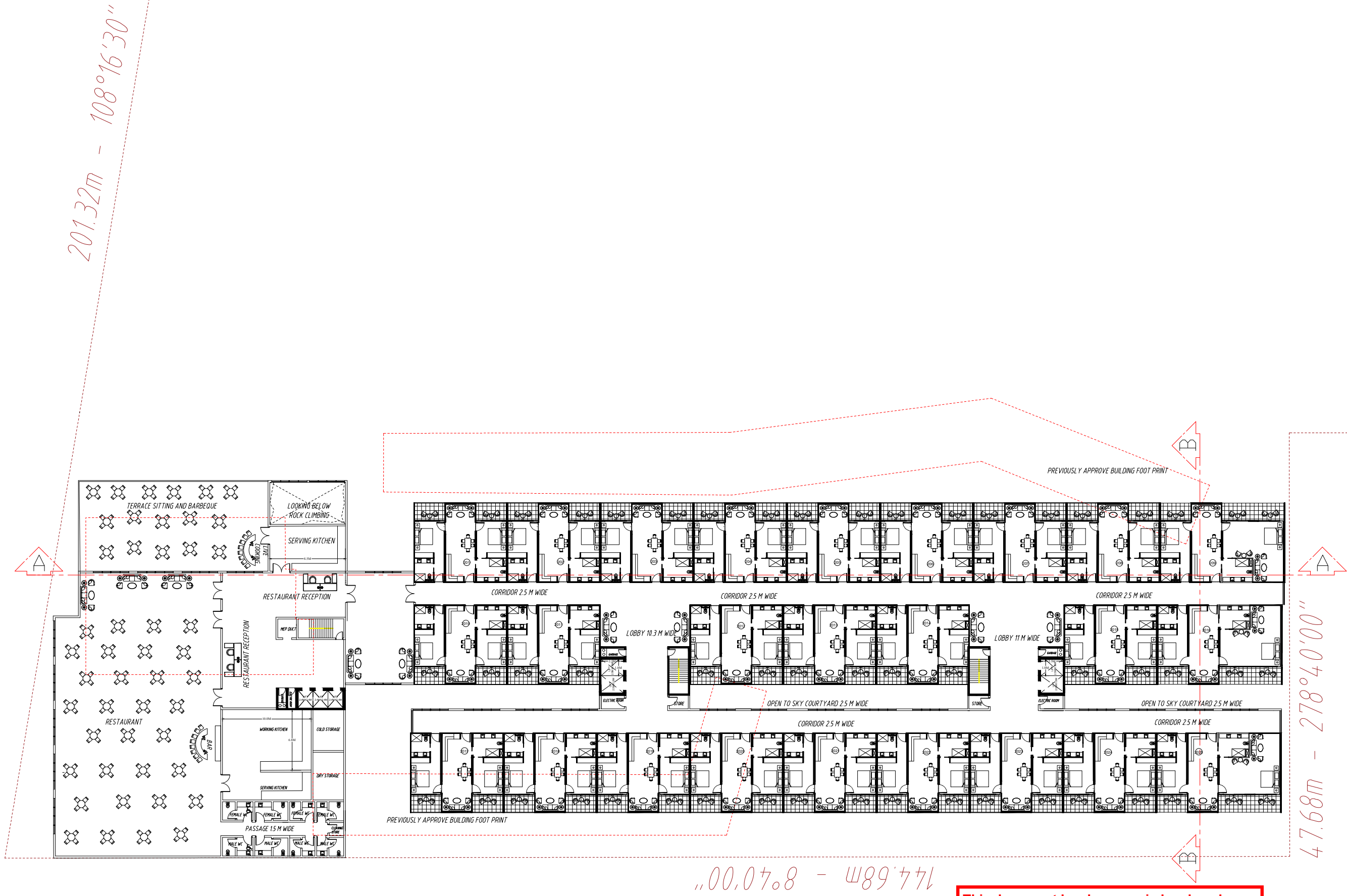
SCALE	
METERS	1:200@A3

DRAWING TITLE :
GROUND FLOOR DRAWING
COMMERCIAL AND ACCOMMODATION

DRAWING NO. TP . 04

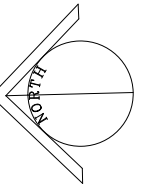
This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



FIRST FLOOR LEVEL SUMMARY

TOTAL FIRST FLOOR AREA: 22342 SQ.M
COMMERCIAL FLOOR AREA: 1153.2 SQ.M
ACCOMMODATION AREA: 21188.7 SQ.M
TYPE:
-COMMERCIAL AND ACCOMMODATION
TOTAL NUMBER OF UNITS:.....25
-2 BED UNIT.....25



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE	
METER	1:200@A3

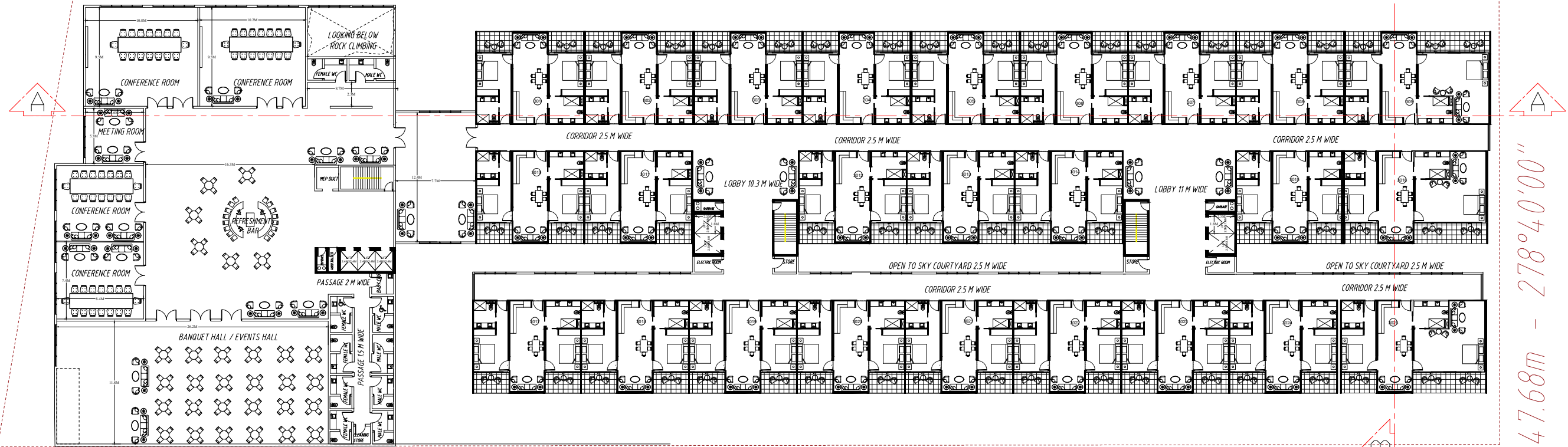
DRAWING TITLE :
FIRST FLOOR FLOOR DRAWING
COMMERCIAL AND ACCOMMODATION

DRAWING NO. TP. 05

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

201.32m - 108°16'30"



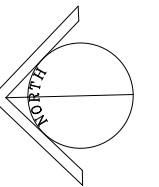
144.6m - 278°40'00"

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

SECOND LEVEL SUMMARY

TOTAL SECOND FLOOR ARE 22544 SQ.M
COMMERCIAL FLOOR AREA: 1355.5 SQ.M
ACCOMMODATION AREA: 21188.7 SQ.M
TYPE:
-COMMERCIAL AND ACCOMMODATION
TOTAL NUMBER OF UNITS:.....25
-2 BED UNIT.....25



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

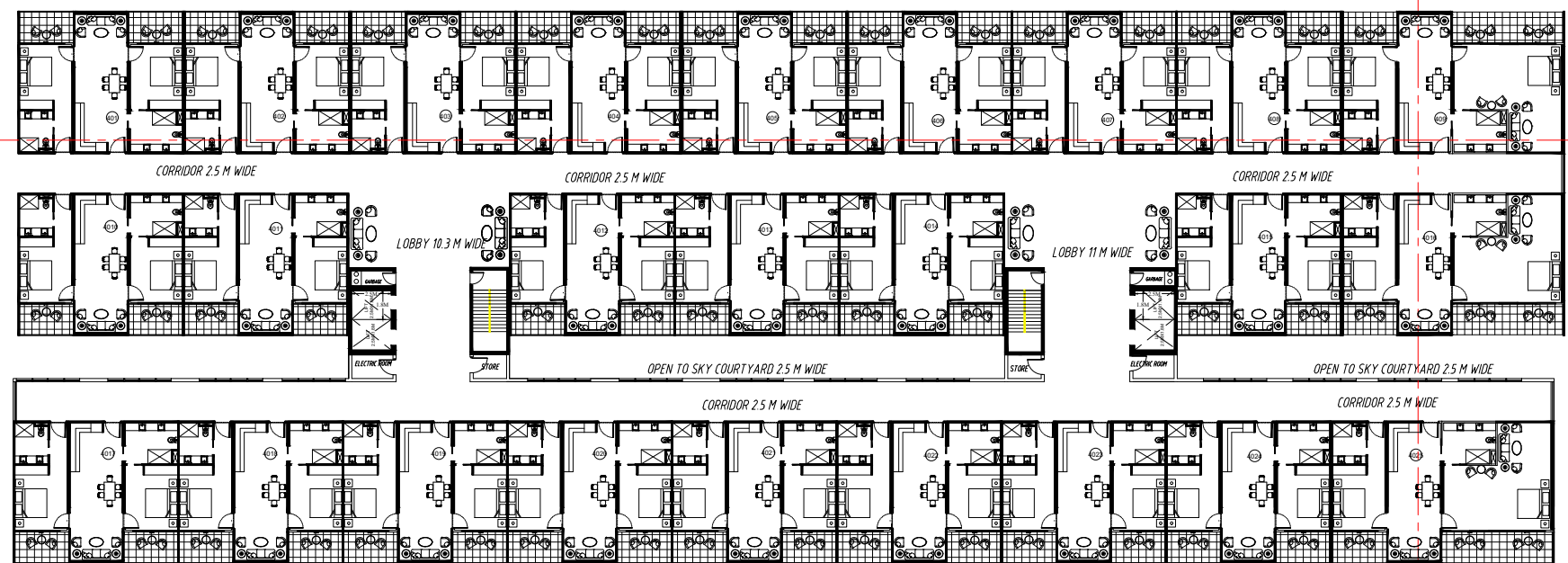
SCALE

DRAWING TITLE :
SECOND FLOOR DRAWING
COMMERCIAL AND ACCOMMODATION

DRAWING NO. TP .06

201.32m - 108°16'30"

LOOKING BELOW
ROCK CLIMBING



47.68m - 278°40'00"

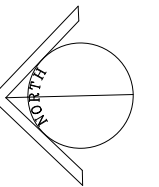
118.77m - 48°07'08"

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

THIRD LEVEL SUMMARY

TOTAL THIRD FLOOR AREA: 21,234.2 SQ.M
COMMERCIAL FLOOR AREA: 45.5 SQ.M
ACCOMMODATION AREA: 21188.7 SQ.M
TYPE:
-COMMERCIAL AND ACCOMMODATION
TOTAL NUMBER OF UNITS:.....25
-2 BED UNIT.....25



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

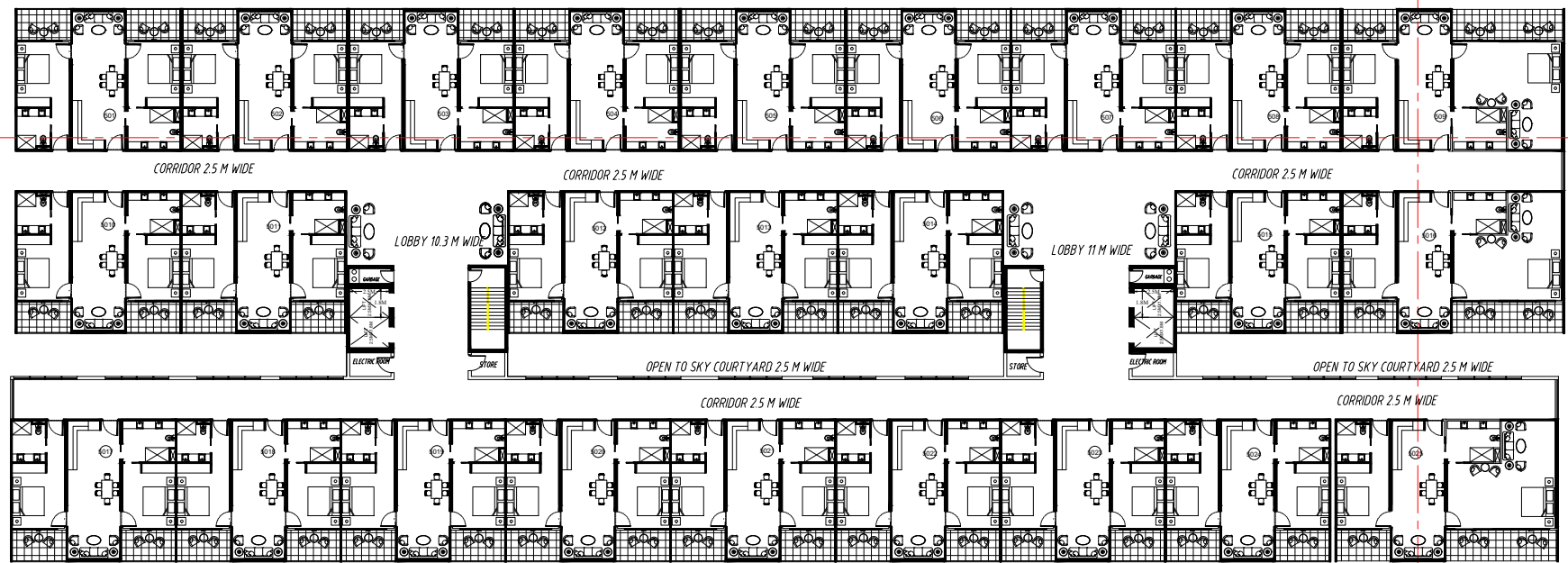
SCALE

DRAWING TITLE :
THIRD FLOOR TYPICAL PLAN

DRAWING NO. TP. 07

201.32m - 108°16'30"

LOOKING BELOW
ROCK CLIMBING



47.68m - 278°40'00"

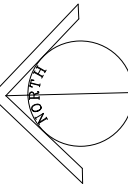
00.0708 - 489.771

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

THIRD LEVEL SUMMARY

TOTAL THIRD FLOOR AREA: 21,234.2 SQ.M
COMMERCIAL FLOOR AREA: 45.5 SQ.M
ACCOMMODATION AREA: 21188.7 SQ.M
TYPE: -COMMERCIAL AND ACCOMMODATION
TOTAL NUMBER OF UNITS:.....25
2 BED UNIT.....25

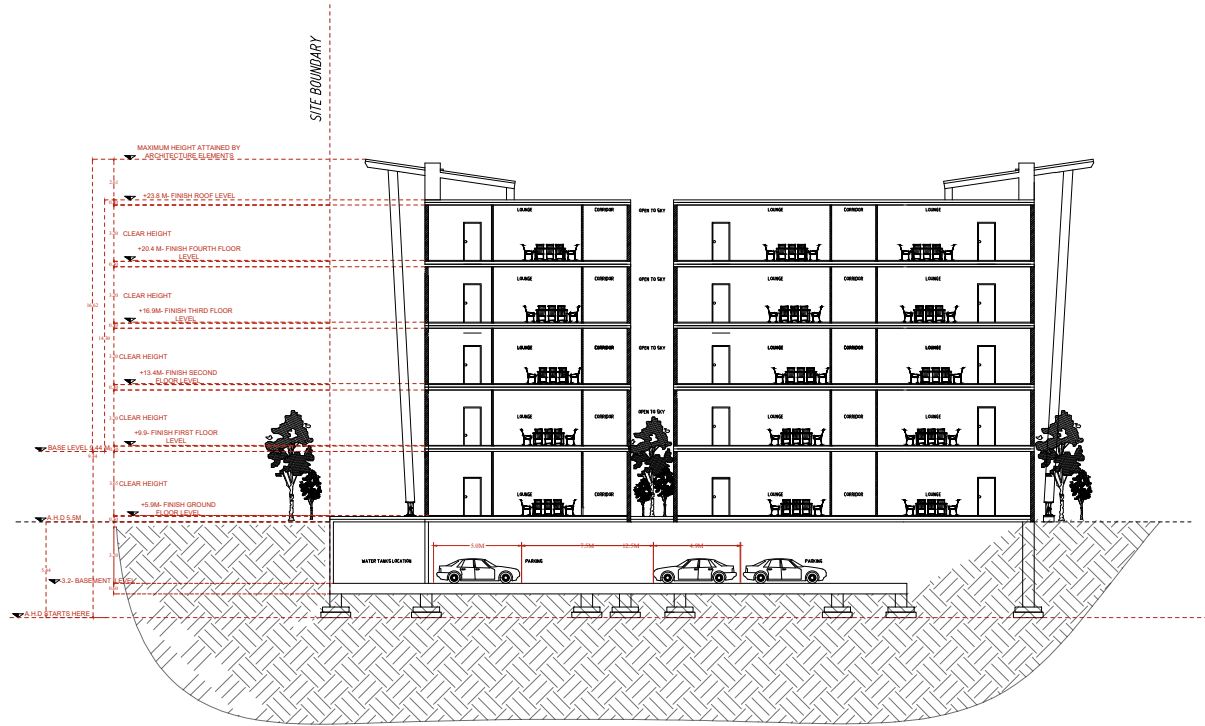


PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE

DRAWING TITLE :
FOURTH FLOOR TYPICAL PLAN

DRAWING NO. TP. 08



SECTION AT B-B

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

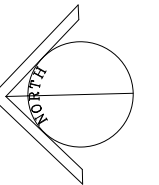
By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



SECTION AT A-A

SECTION DRAWING SUMMARY

BASE LEVEL POINT TAKEN : 9.44
FOURTH LEVEL CEILING HEIGHT FROM BASE POINT 9.44M: 14.3 M
MAXIMUM HEIGHT ATTAIN WITH SKILLION PITCH ROOF: 16.62 M



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE	
METER	1:200@A3

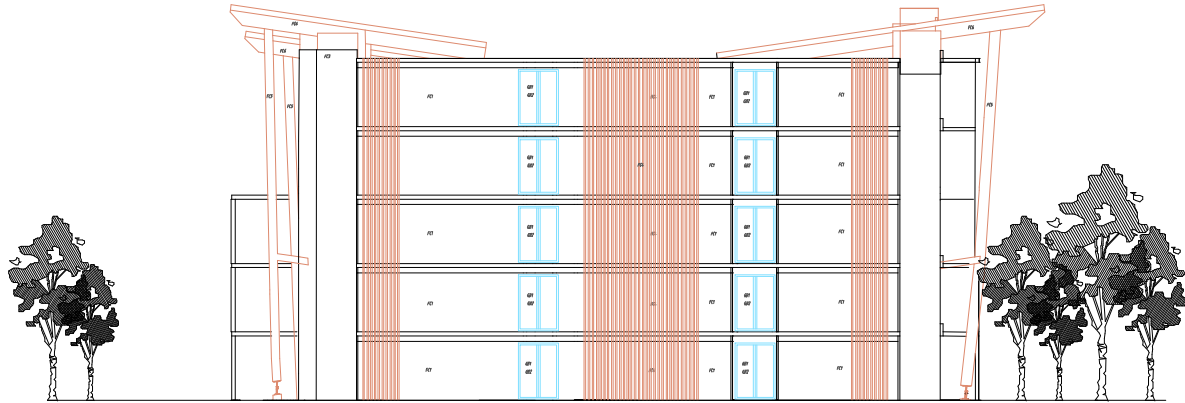
DRAWING TITLE :
SECTIONS

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



EAST ELEVATION



SOUTH ELEVATION

MATERIAL SCHEDULE

- FC1: FIBER CEMENT CLADDING WITH PAINTED FINISH
COLOR DULUX:WHITE DUCK
- FC2:ALUMINUM CLADDING WITH TIMBER FINISH ALIWOOD
MOUNTAIN ASH OR SIMILAR
- FC3:FIBER CEMENT CLADDING WITH PAINTED FINISH
COLOR DULUX:PEWTER FRAME
- FC4: EXTERIOR PREFABRICATED VERTICAL WOODEN
PANELS IN DARK OAK BROWN FINISH
- FC5: GLUE LAMINATED TIMBER ROUND RAISED COLUMN
(To achieve the lightness of the roof form)
- FC6: SKILLION ROOF WITH TIMBER BEAM SUPPORT
TIMBER FINISH CLADDING ALIWOOD MOUNTAIN ASH
- GB1:LIGHT GREY TINT GLASS BALUSTRADE
- GB2:LIGHT GREY ALUMINUM WINDOW FRAME
- GB3: STAINLESS FRAME LESS CLEAR GLASS RAILING

ELEVATION DRAWING SUMMARY	
BASE LEVEL POINT TAKEN :	9.44
FOURTH LEVEL CEILING HEIGHT FROM BASE POINT 9.44M:	14.3 M
MAXIMUM HEIGHT ATTAIN WITH SKILLION PITCH ROOF:	16.62 M



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE	
METER	1:200@A3

DRAWING TITLE :
ELEVATION DRAWINGS



WEST ELEVATION



NORTH ELEVATION

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

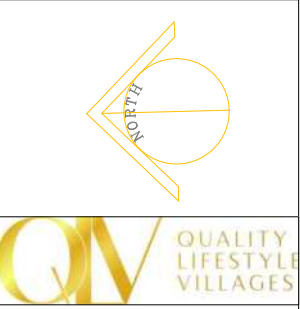
By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

ELEVATION DRAWING SUMMARY

BASE LEVEL POINT TAKEN : 9.44

FOURTH LEVEL CEILING HEIGHT FROM BASE POINT 9.44M: 14.3 M

MAXIMUM HEIGHT ATTAIN WITH SKILLION PITCH ROOF: 16.62 M



PROJECT ADDRESS :
QLV Quality Lifestyle Villages - 1 - 15 Princes Hwy Warrak
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE	
METER	1:200@A3

DRAWING TITLE :
ELEVATION DRAWINGS

MATERIAL SCHEDULE

FC1: FIBER CEMENT CLADDING WITH PAINTED FINISH
COLOR DULUX: WHITE DUCK

FC2: ALUMINUM CLADDING WITH TIMBER FINISH ALIWOOD
MOUNTAIN ASH OR SIMILAR

FC3: FIBER CEMENT CLADDING WITH PAINTED FINISH
COLOR DULUX: PEWTER FRAME

FC4: EXTERIOR PREFABRICATED VERTICAL WOODEN
PANELS IN DARK OAK BROWN FINISH

FC5: GLUE LAMINATED TIMBER ROUND RAISED COLUMN
(To achieve the lightness of the roof form)

FC6: SKILLION ROOF WITH TIMBER BEAM SUPPORT
TIMBER FINISH CLADDING ALIWOOD MOUNTAIN ASH

GB1: LIGHT GREY TINT GLASS BALUSTRADE

GB2: LIGHT GREY ALUMINUM WINDOW FRAME

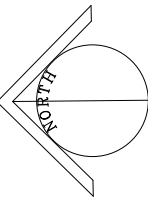
GB3: STAINLESS FRAME LESS CLEAR GLASS RAILING

THE DETAILS OF THE MODULE

-TYPICAL RESORT UNIT AREA:

80.15 SQ.M (EXCLUDING BALCONY)

94 SQ.M (INCLUDING BALCONY)



PROJECT ADDRESS :

QLV Quality Lifestyle Villages - 1 - 15 Princes
Hwy Wurruk
Email - info@qualitylifestylevillages.com.au
Website - www.qualitylifestylevillages.com.au

SCALE

METERS

DRAWING TITLE :

MODULE DETAILS

DRAWING NO. TP. 12

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

