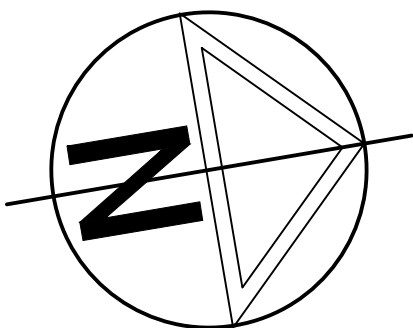
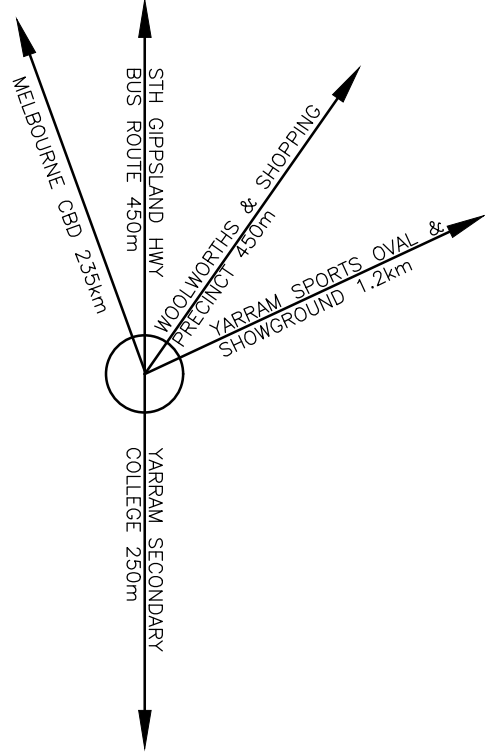
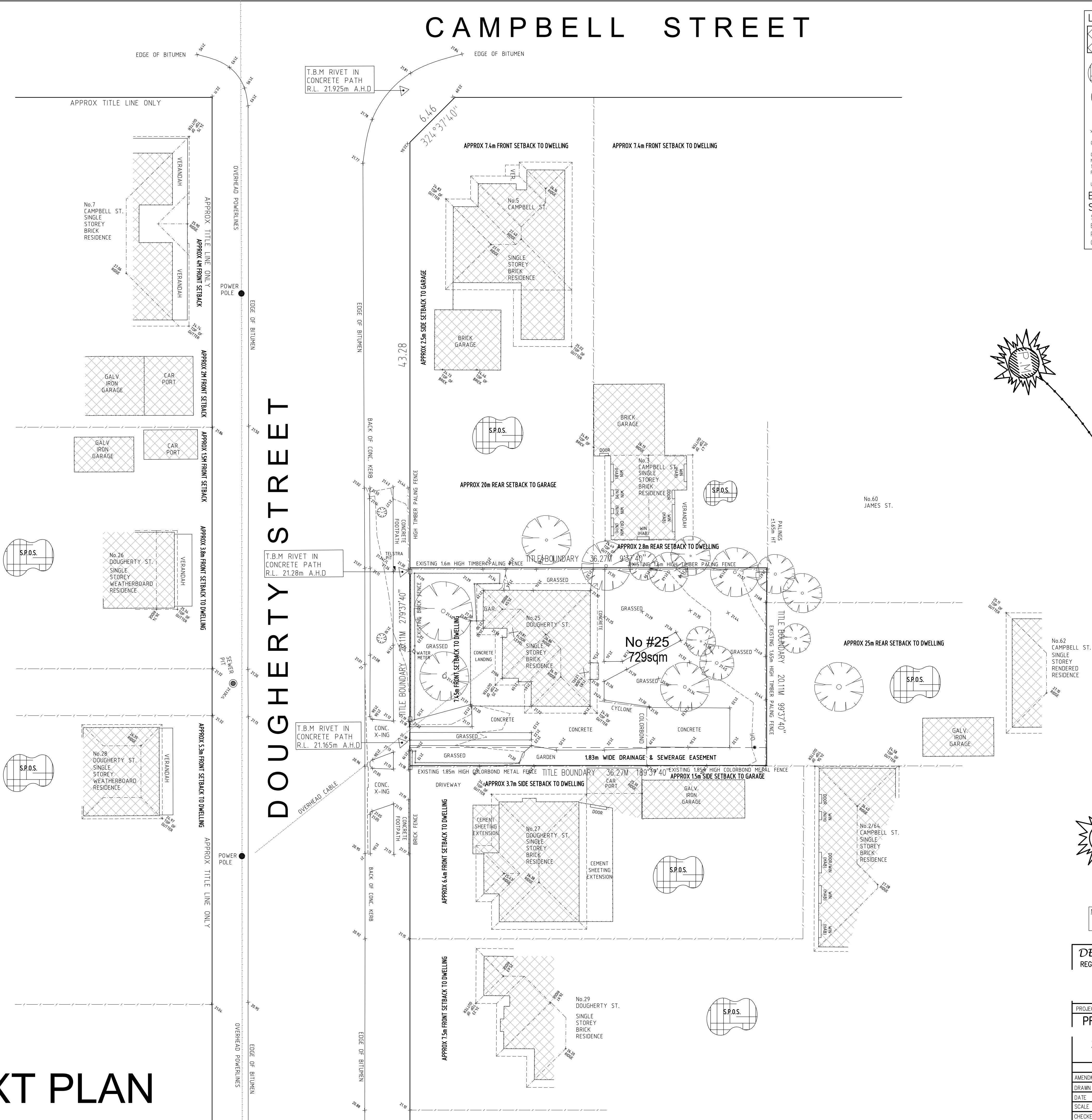




SITE CONTEXT PLAN



LEGEND:

- EXISTING BUILDINGS ON SITE AND NEIGHBORING SITES
- NEIGHBORING PRIVATE OPEN SPACE TO PROTECT
- EXISTING TREES
- LEVELS - REFER TO SURVEYOR'S DRAWINGS
- CHARACTERISTIC GARDEN STYLE MIXTURE
- CHARACTERISTIC FENCE STYLES MIXTURE TYPES, PREDOMINANTLY TALL TIMBER PALING SIDE BOUNDARY FENCES AND LOW FRONT FENCES
- USE OF SURROUNDING BUILDINGS - RESIDENTIAL

EXISTING CONDITIONS SCHEDULE OF AREAS:

SITE AREA: 729sqm
EXISTING SITE COVERAGE: 105sqm (14%)
PERMEABILITY: 450sqm (61%)
OPEN SPACE: 624sqm (86%)

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NOTE:
THIS SURVEY IS ON MGA BEARING DATUM FOR TITLE BEARINGS SUBTRACT 9°37'40"

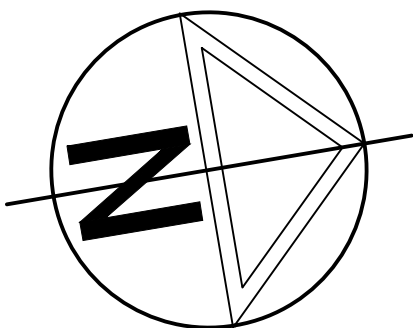
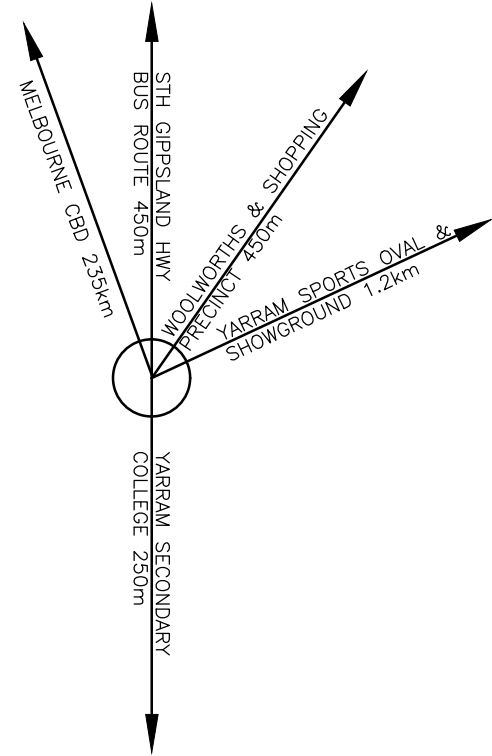
DESIGNED BY HAND
REGISTRATION: L.J. HAND DP-AD 23260

PROJECT & CLIENT		
PROPOSED DWELLINGS FOR:		
25 DOUGHERTY STREET, YARRAM VIC 3971		
AMENDMENT	NO.	
DRAWN	L.J.H	
DATE	NOV '22	
SCALE	1:200 @ A1	
CHECKED		

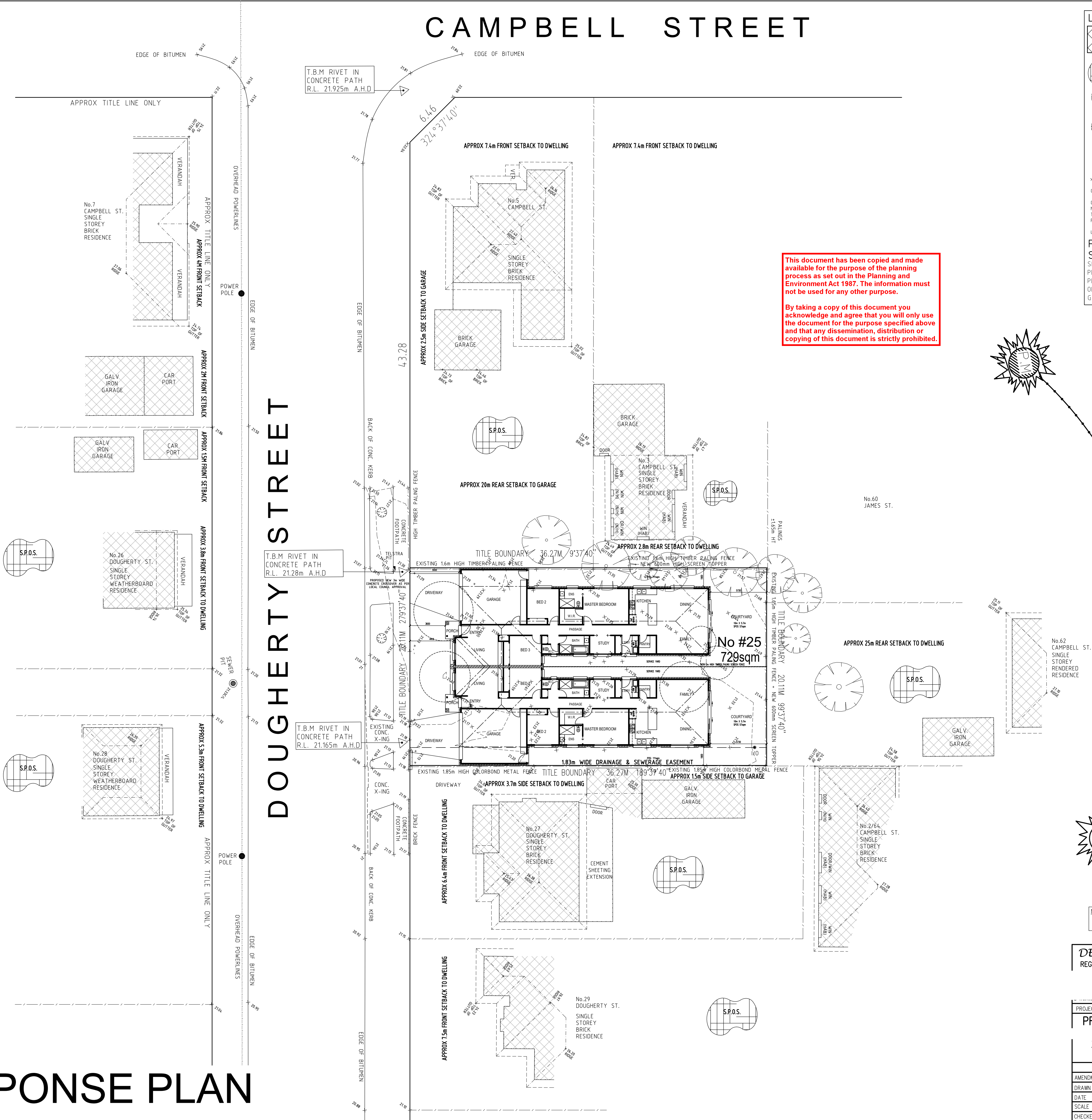
DBH-577
1 of 3



PREDOMINANT WINDS
BASS STRAIGHT OCEAN



DESIGN RESPONSE PLAN



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LEGEND:

- EXISTING BUILDINGS ON SITE AND NEIGHBORING SITES
- NEIGHBORING PRIVATE OPEN SPACE TO PROTECT
- EXISTING TREES TO BE RETAINED
- EXISTING TREES TO BE REMOVED
- LEVELS - REFER TO SURVEYORS DRAWINGS
- CHARACTERISTIC GARDEN STYLE MIXTURE
- CHARACTERISTIC FENCE STYLES: MIXTURE TYPES, PREDOMINANTLY TALL TIMBER PALING SIDE BOUNDARY FENCES AND LOW FRONT FENCES
- USE OF SURROUNDING BUILDINGS: RESIDENTIAL

PROPOSED SCHEDULE OF AREAS:

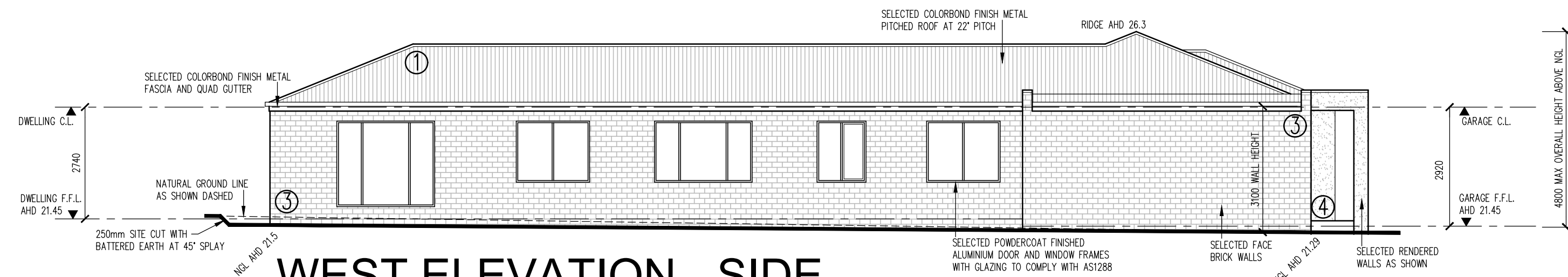
SITE AREA: 729sqm
PROPOSED SITE COVERAGE: 414.6sqm (56.8%)
PERMEABILITY: 275sqm (37.7%)
OPEN SPACE: 624sqm (86%)
GARDEN AREA: 269.3sqm (36.9%)

NOTE:
THIS SURVEY IS ON MGA BEARING DATUM
FOR TITLE BEARINGS SUBTRACT 9°37'40"

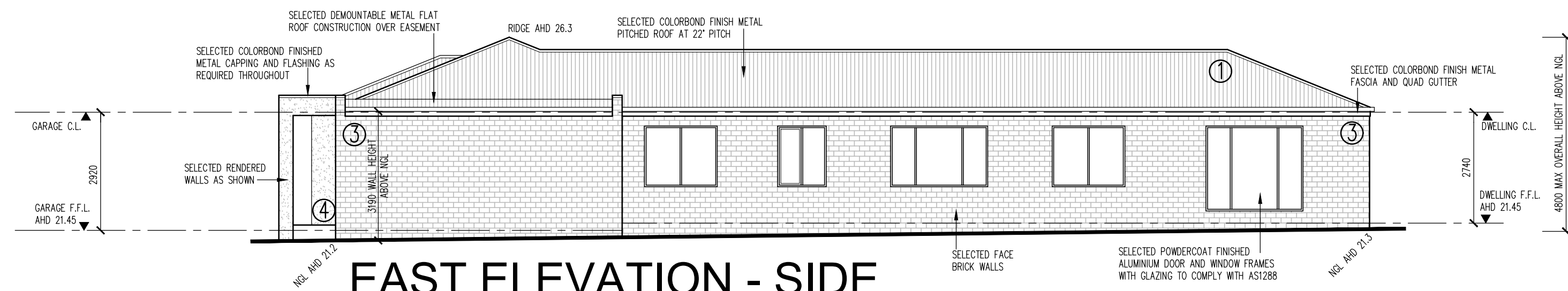
DESIGNED BY HAND
REGISTRATION: L.J. HAND DP-AD 23260
23260 23260 23260

PROJECT & CLIENT		
PROPOSED DWELLINGS FOR:		
25 DOUGHERTY STREET, YARRAM VIC 3971		
AMENDMENT	NO.	
DRAWN	L.J.H.	NOV '22
DATE	1:200 @ A1	
SCALE		
CHECKED		

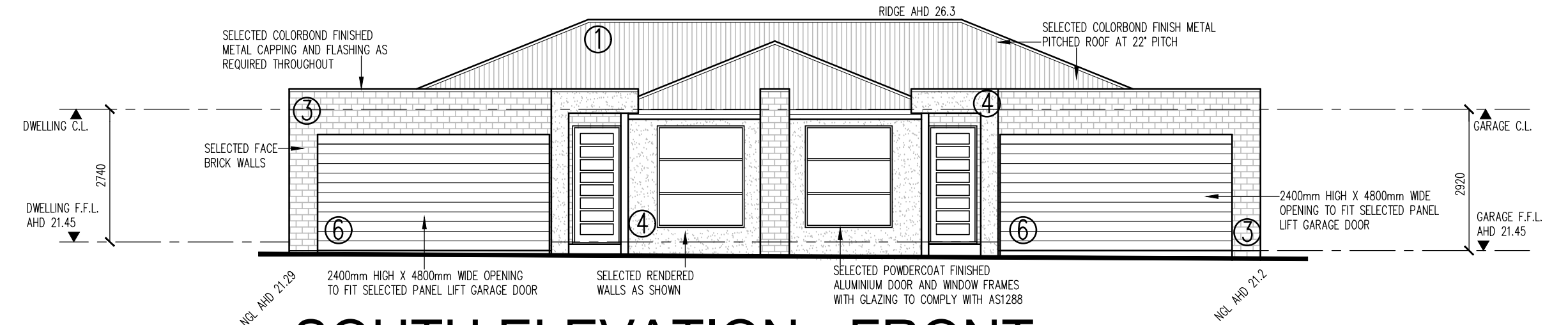
DBH-577
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WEST ELEVATION - SIDE



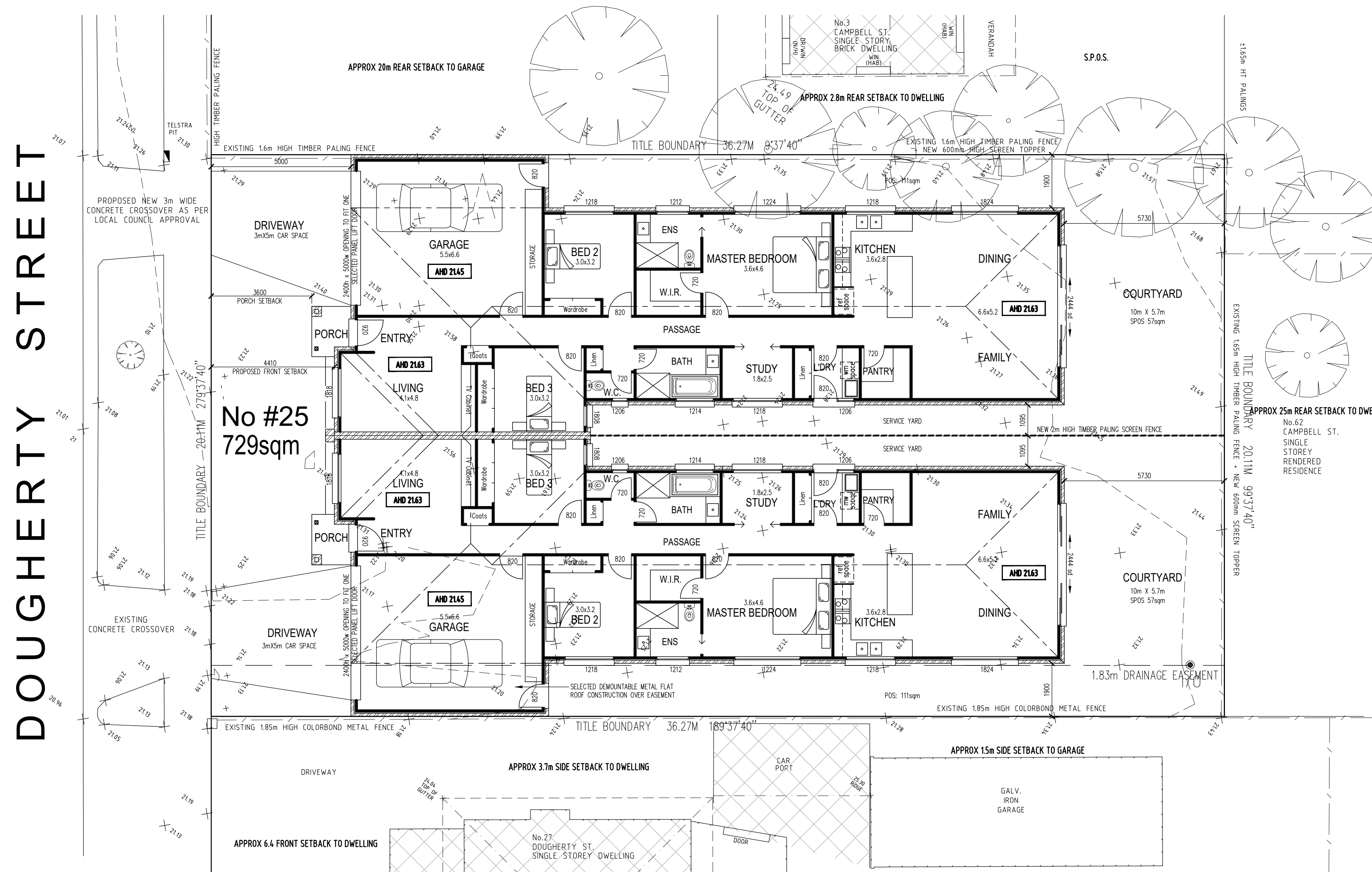
EAST ELEVATION - SIDE



SOUTH ELEVATION - FRONT



NORTH ELEVATION - REAR



- EXTERNAL FINISHES:**
NOTE: ALL EXTERNAL FINISHES ARE TO BE OF NON-REFLECTIVE, NATURAL AND MUTED TONES
- ① ROOF: SELECTED 'COLORBOND - WOODLAND GREY' METAL PITCHED ROOF AT 22° PITCH
 - ② METAL FASCIA & GUTTERS - 'COLORBOND - WOODLAND GREY'
 - ③ MAIN BRICK WALLS - 'BORAL - VANILLA'
 - ④ FEATURE RENDER - 'WOODLAND GREY'
 - ⑤ WINDOWS - OFF-WHITE POWDERCOAT FINISHED ALUMINIUM
 - ⑥ GARAGE DOOR - WOODLAND GREY

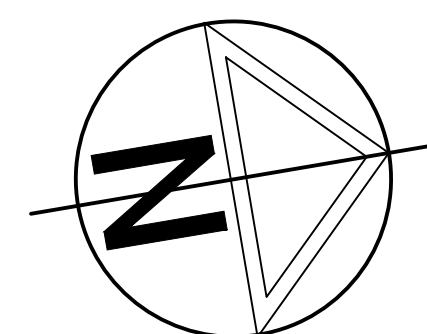
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SITE AREA: 729sqm
PROPOSED SITE COVERAGE: 414.6sqm (56.8%)
PERMEABILITY: 275sqm (37.7%)
OPEN SPACE: 674sqm (86%)
GARDEN AREA: 269.3sqm (36.9%)

FLOOR PLANS

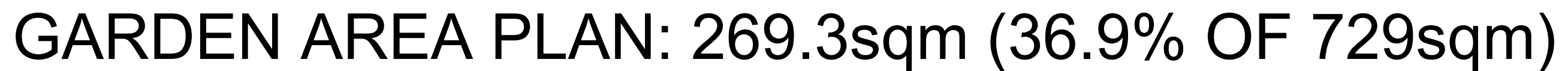
DWELLING AREA: 165.3qm (17.8 squares)
GARAGE AREA: 39.7sqm (4.2 squares)



FLOOR PLANS & ELEVATIONS

DESIGNED BY HAND		
REGISTRATION: L.J. HAND DP-AD 23260		
PROJECT & CLIENT		
PROPOSED DWELLINGS FOR:		
25 DOUGHERTY STREET, YARRAM VIC 3971		
AMENDMENT	L/H	NO.
DRAWN	NOV '22	DBH-577 3 of 3
DATE	1:100 @ A1	
SCALE		
CHECKED		

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DBH577
GARDEN